



## Application for Architectural Review Board

**\* This application must be filled out completely and signed before submittals are placed on the ARB agenda.**

The purpose of Architectural Review Board shall be to two-fold; to develop architectural and design guidelines for the City of Ladue in accordance with section 110-70 and to apply those guidelines in reviewing projects within the City as to whether or not the project adheres to such guidelines.

### APPLICANT INFORMATION

Name of Applicant: Tom Niemeyer

Phone #: 314.534.4160

Email address of Applicant (for review comments): Tom@SPACESTL.COM

### PROJECT PROPERTY INFORMATION

Address for proposed work: 9633 LADUE ROAD

If this ARB application is amending a project that is currently under construction, list permit #: \_\_\_\_\_

Zoning District: C Parcel ID # (St. Louis county tax record): 18M340167

DESCRIPTION OF PROPOSED PROJECT: THERE ARE TWO AREAS OF WORK. ON EAST SIDE OF HOUSE, A GARAGE EXTENSION IS PROPOSED. ON THE WEST SIDE, IMPROVEMENTS TO EXISTING ADDITION, INCLUDING A NEW SHADE CANOPY ARE PROPOSED.

### Additional Information:

- Professionally sealed plans are not required for ARB review.
- Plans for projects involving alterations and repairs, which do not affect the outward appearance of a building, and existing decks, fences, window replacements and roofing shingle replacements shall not require approval of the Architectural Review Board.
- Revised plans with any changes predicated by the ARB will need to be submitted with the building permit application to the Department of Planning and Development with final trustee approval (if applicable.)
- Projects approved by ARB should be submitted for building permits within 180 days or the ARB approval may become void.

**By signing this application, you acknowledge that by submitting an incomplete application, your petition will not be added to the meeting agenda.**

X Tom Niemeyer Date: 9.28.12

*\* This application and review for City of Ladue building permitted purposes only. Please be aware of any additional covenants and indentures which may be recorded with your subdivision. Approval of this ARB proposal does not waive any other permit or other authorization by the City that may be required for you to fully complete your proposed project.*



OWNER:  
**STEVE AND KELLY MACKIN**  
9633 Ladue Rd.  
St. Louis, MO 63124  
p xxx.xxx.xxx  
f xxx.xxx.xxx  
Project Contact: Steve Mackin - stevemackin123@gmail.com  
Kelly Mackin - kellymackin123@hotmail.com

ARCHITECT  
**SPACE LLC**  
4168 MANCHESTER RD.  
ST. LOUIS, MISSOURI 63110  
p 314.534.4168  
f 314.534.2026  
Project Contact: Tom Niemeier - tom@spacestl.com

CONTRACTOR  
**SPACE CONSTRUCTORS**  
4168 MANCHESTER RD.  
ST. LOUIS, MO 63110  
p 314.534.4168  
f 314.534.2026  
Project Contact: Mike Schroeder - mike@spacestl.com

# POOL & GARAGE MACKIN RESIDENCE

9633 LADUE ROAD ST. LOUIS, MO 63124



PROJECT INFORMATION	
PROJECT TYPE:	GARAGE EXPANSION AND OUTDOOR POOL
AREA:	PROPERTY: 83,340 GSF
AREA OF WORK:	GARAGE EXPANSION: 285 SQ FT. POOL RELOCATION: 2,305 SQ FT.
PROJECT DESCRIPTION:	EXPANSION OF GARAGE AND NEW POOL LOCATION
APPLICABLE CODES	BUILDING: 2018 INTERNATIONAL BUILDING CODE MECHANICAL: 2009 INTERNATIONAL MECHANICAL CODE PLUMBING: 2015 INTERNATIONAL PLUMBING CODE ELECTRICAL: 2017 NATIONAL ELECTRICAL CODE FIRE PROTECTION: 2018 INTERNATIONAL FIRE PROTECTION CODE [LIFE SAFETY]: [LIFE SAFETY CODE]
USE AND OCCUPANCY	GROUP R-2: NO CHANGE
CONSTRUCTION TYPE	TYPE IIB FULLY SPRINKLERED NO CHANGE
MEANS OF EGRESS	NO CHANGE

SHEET INDEX		XX.XX.2020	XX.XX.2020
	SHEET TITLE	PERMIT SET	PLAN REVIEW REVISION
A0-00	COVER SHEET		
A0-01	ABBREVIATIONS, LEGENDS & NOTES		
A0-02	GENERAL PROJECT NOTES		
A0-03	GENERAL PROJECT NOTES		
A0-04	GEN. PROJ. NOTES & PARTITION TYPES		
D2-00	SITE DEMOLITION PLAN		
D2-01	DEMOLITION PLAN		
A1-01	SITE PLAN		
A2-01	S.O.W. FLOOR PLAN		
A5-02	EXISTING CONDITION		
A5-03	PROPOSED RENDERS GARAGE		
A5-04	PROPOSED RENDERS POOL ADDITION		
A8-00	GARAGE DETAILS		

## FLOODPLAIN NOTES TO USERS

This map is for use in administering the National Flood Insurance Program. It does not necessarily identify all areas subject to flooding, particularly from local drainage sources of small size. The community map repository should be consulted for possible updated or additional flood hazard information.

To obtain more detailed information in areas where Base Flood Elevations (BFEs) and/or floodways have been determined, users are encouraged to consult the Flood Profiles and Floodway Data and/or Summary of Elevation Data tables contained within the Flood Insurance Study (FIS) report that represents the FIS. Users should be aware that BFEs shown on the FIS represent rounded whole-foot elevations. These BFEs are intended for flood insurance rating purposes only and should not be used as the sole source of flood elevation information. Accordingly, flood elevation data presented in the FIS report should be utilized in conjunction with the FIS for purposes of construction and/or flood management.

Boundaries of the floodways were computed at cross sections and interpolated between cross sections. The floodways were based on hydraulic considerations with regard to requirements of the National Flood Insurance Program. Floodway widths and other pertinent floodway data are provided in the Flood Insurance Study report for this jurisdiction.

Certain areas not in Special Flood Hazard Areas may be protected by flood control structures. Refer to Section 2.4 "Flood Protection Measures" of the Flood Insurance Study report for information on flood control structures for this jurisdiction.

The projection used in the preparation of this map was Missouri State Plane coordinate system, east zone (FIPSZONE 2401), Transverse Mercator projection. Horizontal datum was NAD 83, GRS80 spheroid. Differences in datum, spheroid or projection used in the production of FISs for adjacent jurisdictions may result in slight positional differences in map features across jurisdiction boundaries. These differences do not affect the accuracy of this FIS.

Flood elevations on this map are referenced to the North American Vertical Datum of 1988. These flood elevations must be compared to structure and ground elevations referenced to the same vertical datum. For information regarding conversion between the National Geodetic Vertical Datum of 1929 and the North American Vertical Datum of 1988, visit the National Geodetic Survey website at <http://www.ngs.noaa.gov> or contact the National Geodetic Survey at the following address:

NGS Information Services  
NGA, NGS012  
National Geodetic Survey  
SSM-C, #9022  
1315 East-West Highway  
Silver Spring, Maryland 20910-3282  
(301) 713-3342

To obtain current elevation, description, and/or location information for bench marks shown on this map, please contact the Information Services Branch of the National Geodetic Survey at (301) 713-3342, or visit its website at <http://www.ngs.noaa.gov>.

Base map information shown on this map was provided in digital format by the U.S. Farm Service Agency, National Agricultural Imagery Program (NAIP), published in 2010 at a scale of 1:12000.

Based on updated topographic information, this map reflects more detailed and up-to-date stream channel configurations and floodplain delineations than those shown on the previous FIS for this jurisdiction. As a result, the Flood Profiles and Floodway Data tables may reflect stream channel distances that differ from what is shown on the map. Also, the road to floodplain relationships for unreviewed streams may differ from what is shown on previous maps.

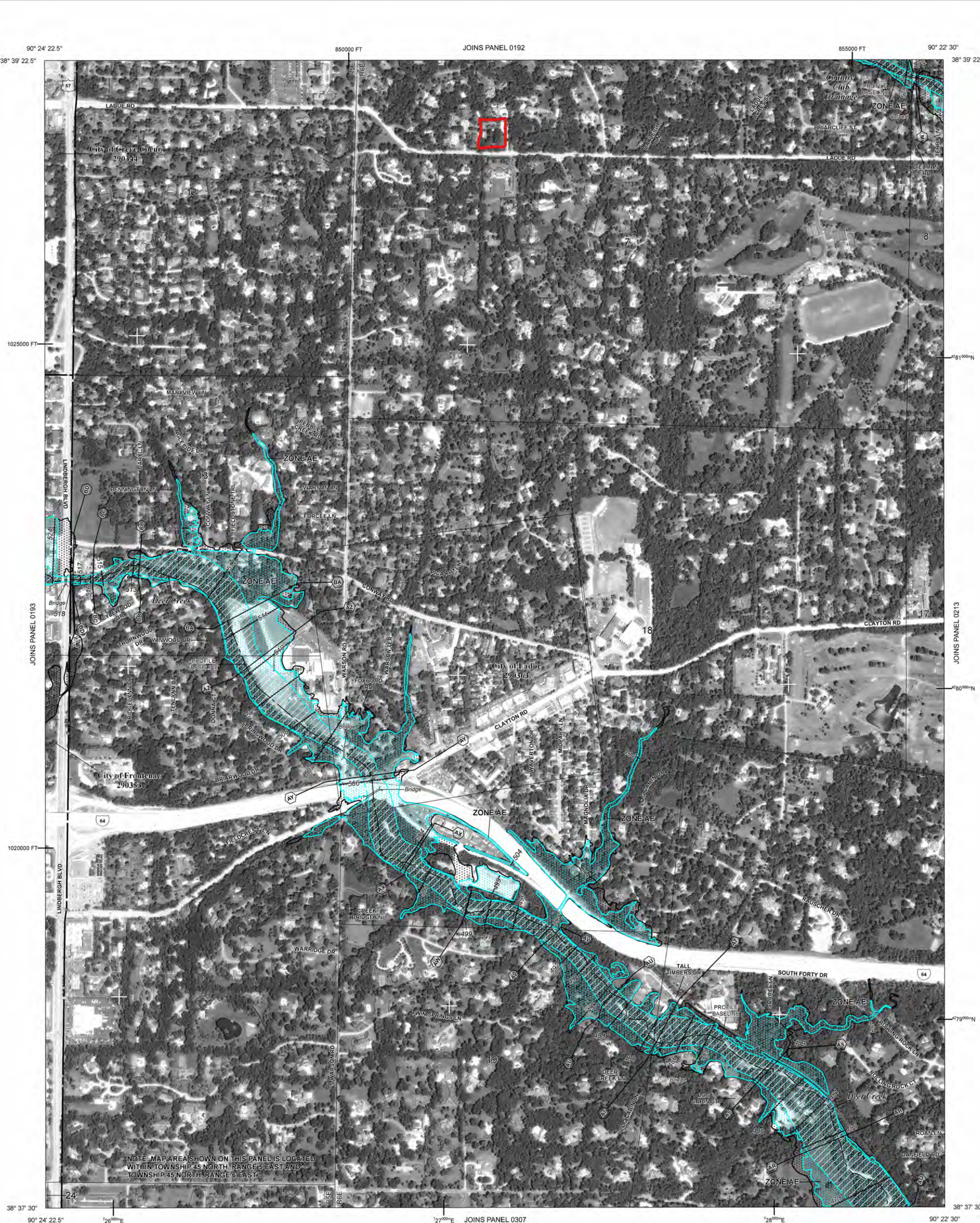
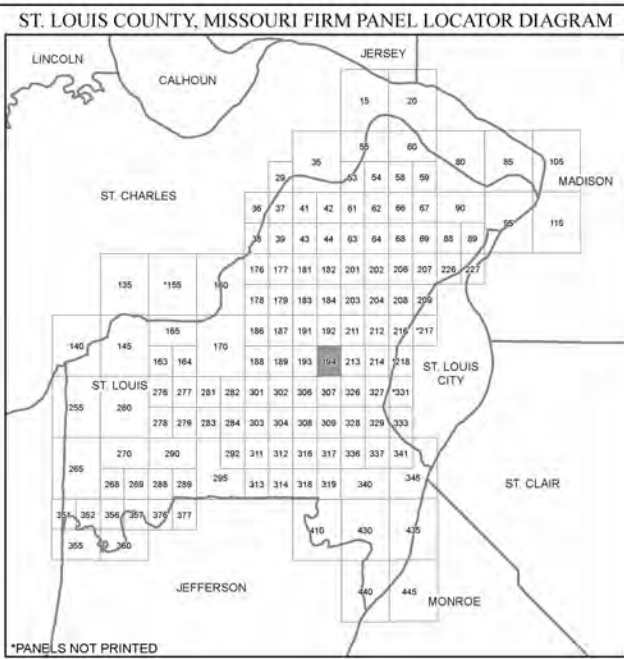
The profile base line depicted on this map represents the hydraulic modeling baseline that matches the flood profiles in the FIS report. As a result of improved topographic data, the profile base line in some cases, may deviate significantly from the channel centerline or appear outside the channel.

Corporate limits shown on this map are based on the best data available at the time of publication. Because changes due to annexations or de-annexations may have occurred after this map was published, map users should contact appropriate community officials to verify current corporate limit locations.

Please refer to the separately printed Map Index for an overview map of the county showing the layout of map panels, community map repository addresses, and a Listing of Communities table containing National Flood Insurance Program dates for each community as well as a listing of the panels on which each community is located.

Contact the FEMA Map Service Center (MSC) via the FEMA Map Information eXchange (FMIX) at 1-877-336-2627 for information on available products associated with this FIS. Available products may include previously issued Letters of Map Change, a Flood Insurance Study report, and/or digital versions of this map. The FEMA MSC may also be reached by Fax at 1-800-356-0620 and its website at <http://fema.msc.fema.gov>.

If you have questions about this map or questions concerning the National Flood Insurance Program in general, please call 1-877-FEMA-MAP (1-877-336-2627) or visit the FEMA website at <http://www.fema.gov/businessinfo>.



**LEGEND**  
**SPECIAL FLOOD HAZARD AREAS (SFHAs) SUBJECT TO INUNDATION BY THE 1% ANNUAL CHANCE FLOOD**  
The 1% annual chance flood (100-year flood), also known as the base flood, is the flood that has a 1% chance of being equaled or exceeded in any given year. The Special Flood Hazard Areas include Zones A, AE, AH, AR, AO, ARR, V, and VE. The Base Flood Elevation is the water-surface elevation of the 1% annual chance flood.  
**ZONE A** No Base Flood Elevations determined.  
**ZONE AE** Base Flood Elevations determined.  
**ZONE AH** Flood depths of 1 to 3 feet (usually sheet flow on sloping terrain); average depths determined. For areas of alluvial fan flooding, velocities also determined.  
**ZONE AR** Special Flood Hazard Area boundary protected from the 1% annual chance flood by a flood control system that was subsequently described. Zone AR indicates that the former flood control system is being retained to provide protection from the 1% annual chance or greater flood.  
**ZONE ARR** Area to be protected from 1% annual chance flood by a Federal flood protection system under construction; no Base Flood Elevations determined.  
**ZONE V** Coastal flood zone with velocity hazard (wave action); no Base Flood Elevations determined.  
**ZONE VE** Coastal flood zone with velocity hazard (wave action); Base Flood Elevations determined.  
**FLOODWAY AREAS IN ZONE AE**  
The floodway is the channel of a stream plus any adjacent floodplain areas that must be kept free of encroachment so that the 1% annual chance flood can be carried without substantial increases in flood depth.  
**OTHER FLOOD AREAS**  
**ZONE X** Areas of 0.2% annual chance flood; areas of 1% annual chance flood with average depths of less than 1 foot or with drainage areas less than 1 square mile; and areas protected by levees from the 1% annual chance flood.  
**OTHER AREAS**  
**ZONE D** Areas determined to be outside the 0.2% annual chance floodplain.  
**COASTAL BARRIER RESOURCES SYSTEM (CBRS) AREAS**  
**OTHERWISE PROTECTED AREAS (OPAs)**  
CBRS areas and OPAs are normally located within or adjacent to Special Flood Hazard Areas.  
**1% annual chance floodplain boundary**  
**0.2% annual chance floodplain boundary**  
**Floodway boundary**  
**Zone D boundary**  
**Boundary dividing Special Flood Hazard Areas of different Base Flood Elevations, flood depths, or flood velocities.**  
**CBRS and OPA boundary**  
**International, State, or County boundary**  
**Corporate, interjurisdictional, or Urban Growth boundary**  
**Area Not Included boundary**  
**Interjurisdictional boundary**  
**Base Flood Elevation line and value; elevation in feet\***  
**Base Flood Elevation value within zone elevation in feet\***  
\* Referenced to the North American Vertical Datum of 1988  
**Cross section line**  
**Transect line**  
Geographic coordinates referenced to the North American Datum of 1983 (NAD83)  
100-meter Universal Transverse Mercator grid values, zone 15  
1000-foot and 100-foot Universal Transverse Mercator grid values, zone 15  
Zone (FIPSZONE 2403), Transverse Mercator projection  
Panel (see explanation in Notes to Users section of this FIS report)  
**1:5** Road Mile  
**M 1.5** Aqueduct, Canal, Flume, Pipeline, or Storm Sewer  
**Road or Railroad Bridge**  
**MAP REPOSITORY**  
Refer to listing of Map Repositories on Map Index  
**EFFECTIVE DATE OF COUNTRYWIDE FLOOD INSURANCE RATE MAP**  
AUGUST 1, 1995  
**EFFECTIVE DATE(S) OF REVISION(S) TO THIS PANEL**  
August 23, 2000 - to increase base flood elevations, to add base flood elevations, to change special flood hazard areas, to reflect updated topographic information, and to change floodways.  
February 4, 2015 - to update corporate limits, to change base flood elevations, to add Special Flood Hazard Areas, to change Special Flood Hazard Areas, to change zone designations, to add roads and rail names, to incorporate previously issued Letters of Map Revision, to reflect updated topographic information.  
For community map revision history prior to community mapping, refer to the Community Map History table located in the Flood Insurance Study report for this jurisdiction.  
To determine if flood insurance is available in this community, contact your insurance agent or call the National Flood Insurance Program at 1-800-685-8622.  
**MAP SCALE 1" = 800'**  
250 0 500 1000  
150 0 150 300  
FEET  
METERS  
**NATIONAL FLOOD INSURANCE PROGRAM**  
**FIRM**  
**FLOOD INSURANCE RATE MAP**  
**ST. LOUIS COUNTY, MISSOURI AND INCORPORATED AREAS**  
**PANEL 194 OF 445**  
(SEE LOCATOR DIAGRAM OR MAP INDEX FOR FIRM PANEL LAYOUT)  
**COMMUNITY**  

COMMUNITY	NUMBER	PANEL	SUFFIX
CRIVE COAR, CITY OF	20694	0194	X
PROVINCETON, CITY OF	20693	0194	X
LADUE, CITY OF	20693	0194	X

  
**MAP NUMBER 28188C0194K**  
**MAP REVISED FEBRUARY 4, 2015**  
**Federal Emergency Management Agency**

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MISSOURI STATE CERT. OF AUTHORITY #LC0648752

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**PROJECT STATUS: ISSUE DATE**  
**POOL & GARAGE**  
**MACKIN RESIDENCE**  
9633 LADUE ROAD ST. LOUIS, MO 63124

**REVISION SCHEDULE**  

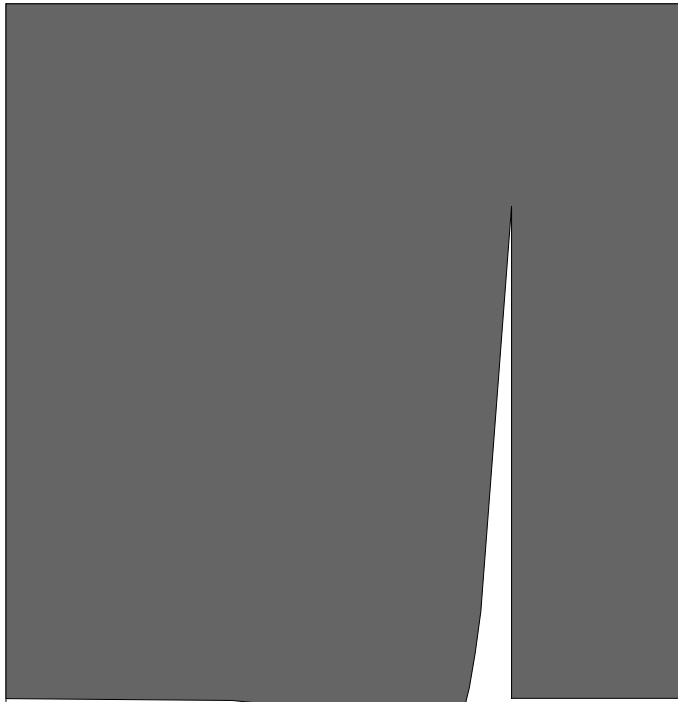
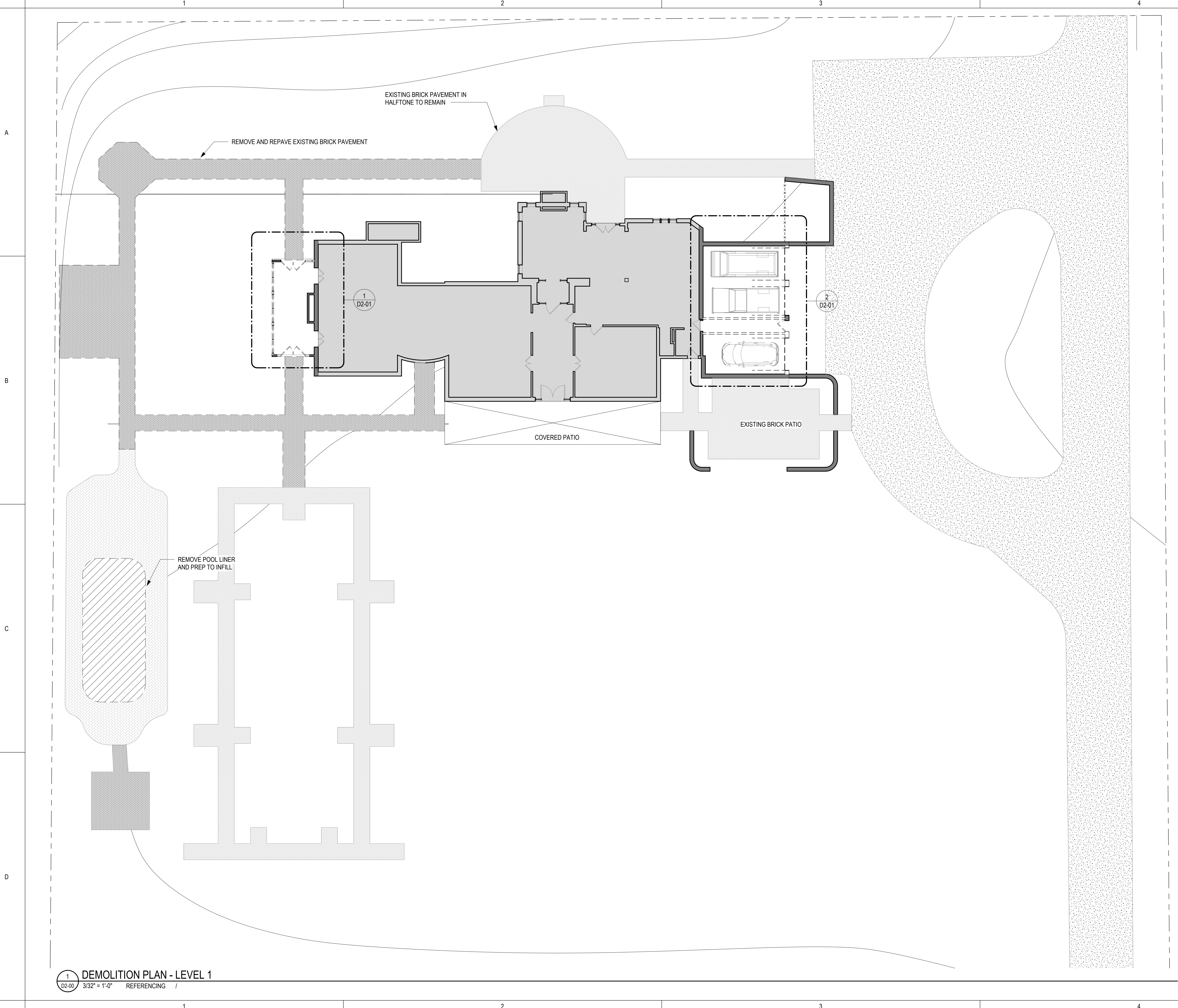
NO.	DATE	REVISIONS

**SHEET NO:**  
**A0-00**  
**COVER SHEET**

**PROJECT STATUS**  
**ISSUE DATE: ISSUE DATE**  
**PROJECT NO: 22-002 (SPACE)**



P:\2022\22-002 Mackin Residence\02 drawings\01 rev\01 central file\Mackin Pool and Garage Addition.rvt  
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PROJECT STATUS: ISSUE DATE  
**MACKIN RESIDENCE**  
**POOL & GARAGE**  
9633 LADUE ROAD ST. LOUIS, MO 63124

REVISION SCHEDULE		
NO.	DATE	REVISIONS

SHEET NO:  
**D2-00**  
SITE DEMOLITION  
PLAN  
PROJECT STATUS  
ISSUE DATE: ISSUE DATE  
PROJECT NO: 22-002

**B**

**C**

D

Page 1 of 1

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1/2" = 1'-0"      REFERENCING   1 / D2-00

1/2" = 1'-0"      REFERENCING 1 / D2-00



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PROJECT STATUS: ISSUE DATE

# MACKIN RESIDENCE

## POOL & GARAGE

**9633 LADUE ROAD ST. LOUIS, MO 63124**

## REVISION SCHEDULE

NO.	DATE	REVISIONS

SHEET NO:

# D2-01

## DEMOLITION PLAN

PROJECT STATUS  
ISSUE DATE: ISSUE DATE  
PROJECT NO: 22-002

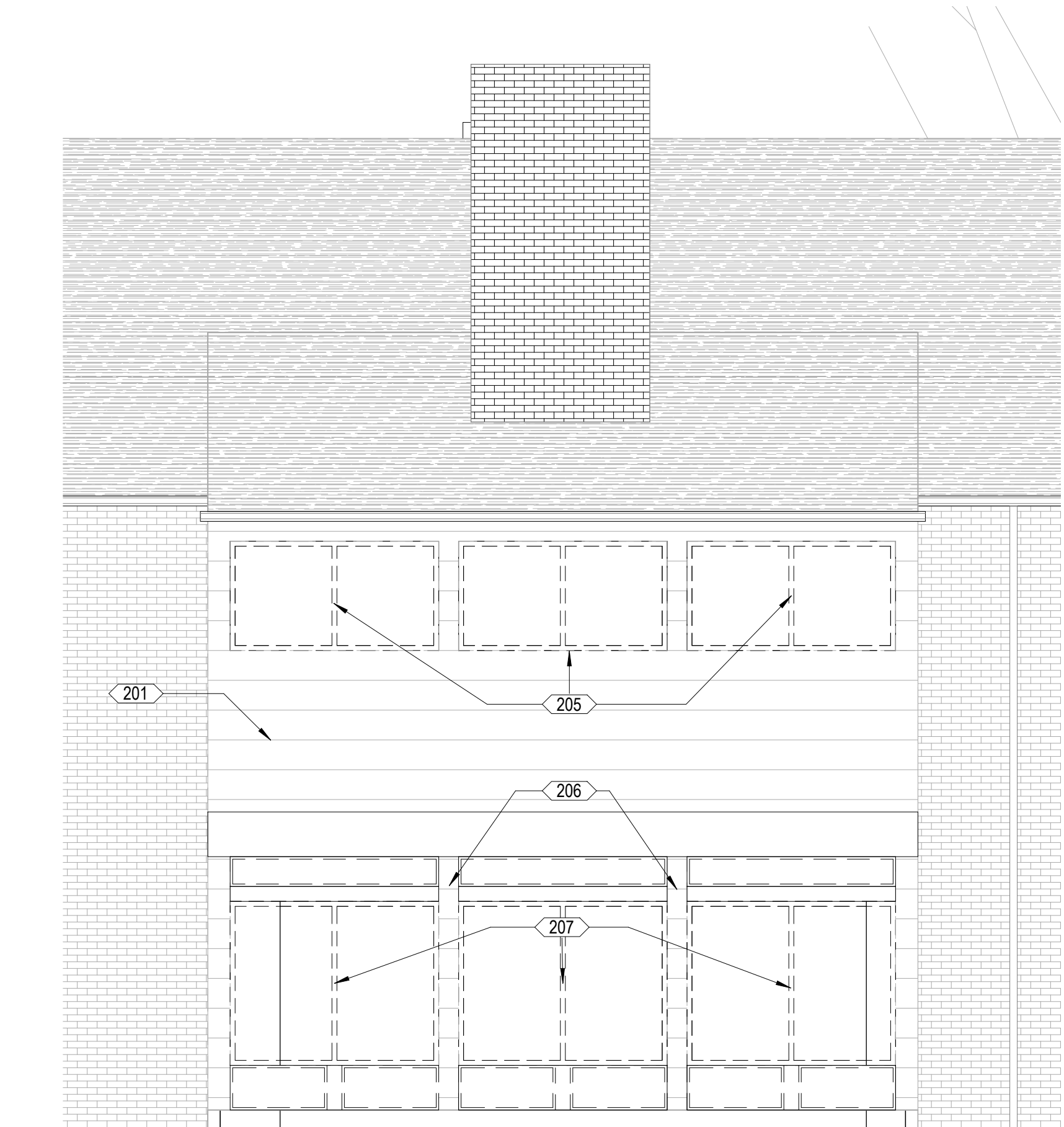
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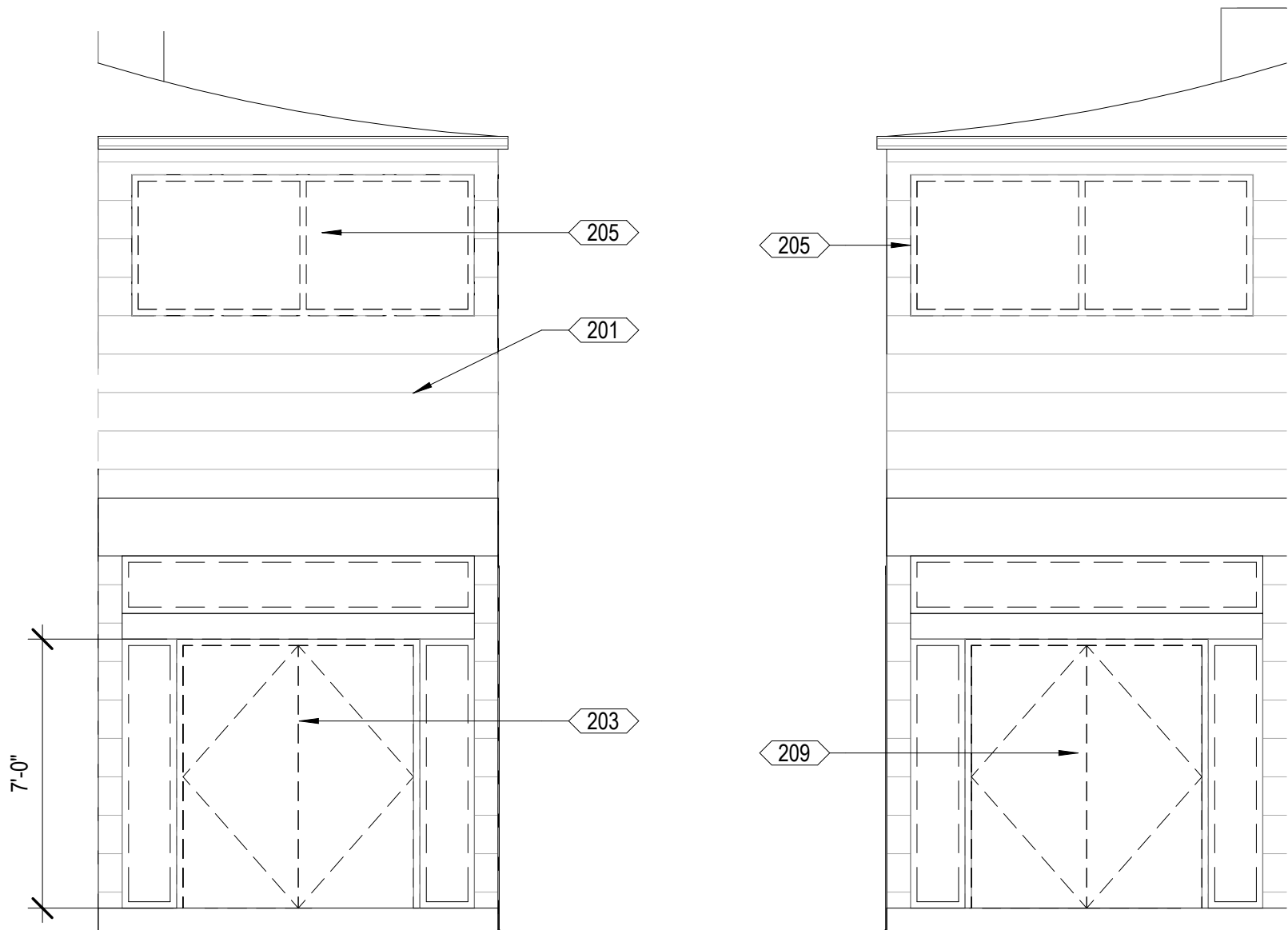
B

C

D



1 DEMO ELEVATION POOL HOUSE - WEST  
D2-02 1/4" = 1'-0" REFERENCING /



2 DEMO EXTERIOR ELEVATION - NORTH  
D2-02 1/4" = 1'-0" REFERENCING /

3 DEMO EXTERIOR ELEVATION - SOUTH  
D2-02 1/4" = 1'-0" REFERENCING /

KEYNOTE LEGEND

201	REMOVE ALL EXISTING WHITE CLADDING.
203	REMOVE DOOR AND ALL ASSOCIATED HARDWARE - INFILL OPENING TO MATCH ADJACENT EXISTING CONDITIONS
205	REMOVE WINDOW, EXTERIOR DETAILING, SILL AND HEADER. PREP AND REFRAME FOR NEW WINDOW
206	DEMO EXISTING STRUCTURAL COLUMNS. SET NEW BEAM TBD BY ENGINEER AND PREP FOR NEW SLIDING WALL SYSTEM
207	REMOVE WINDOW, EXTERIOR DETAILING, SILL AND HEADER. PREP AND REFRAME FOR NEW SLIDING WALL SYSTEM
209	EXISTING BRICK WALL TO REMAIN AND CARRY STRUCTURAL LOAD OF NEW GARAGE

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MACKIN RESIDENCE  
POOL & GARAGE

9633 LADUE ROAD ST. LOUIS, MO 63124

REVISION SCHEDULE

NO.	DATE	REVISIONS

SHEET NO:  
D2-02  
DEMOLITION  
ELEVATIONS

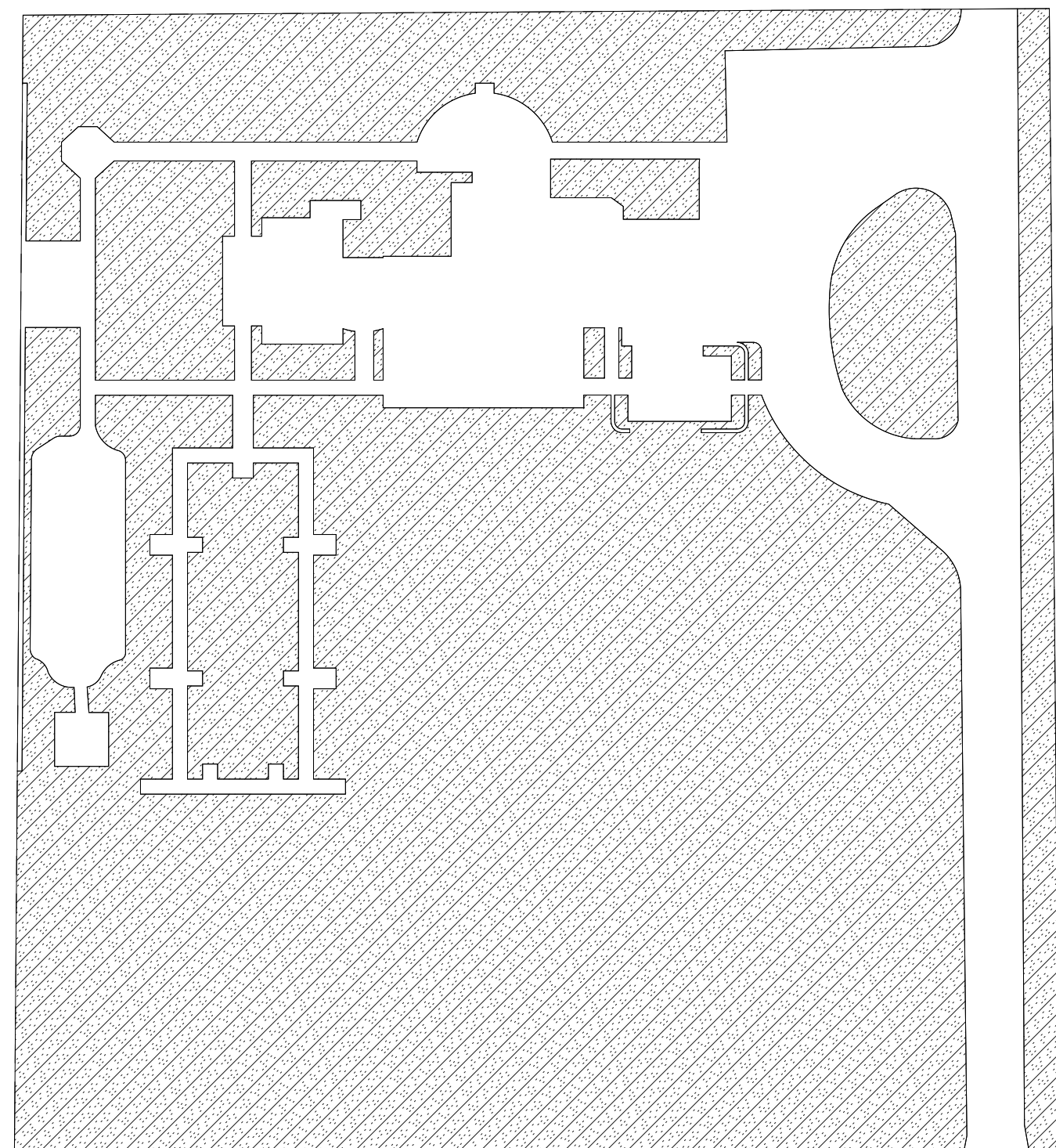
PROJECT STATUS  
ISSUE DATE: ISSUE DATE  
PROJECT NO: 22-002



GENERAL NOTES - NEW WORK	
1	ALL EXISTING CONDITIONS ARE APPROXIMATE. CONTRACTOR TO FIELD VERIFY BEFORE NEW CONSTRUCTION OR FABRICATION.
2	EXISTING CONSTRUCTION SHOWN GRAPHICALLY WITH SCREENED LINE & SOLID HATCH TO REMAIN. PREPARE SURFACES TO RECEIVE NEW CONSTRUCTION OR FINISHES.
3	THE CONTRACTOR REMAINS RESPONSIBLE FOR DETAILS AND ACCURACY, FOR CONFIRMING AND CORRELATING ALL QUANTITIES AND DIMENSIONS, FOR SELECTING DEMOLITION PROCESS, AND FOR THE TECHNIQUES OF DISASSEMBLY.
4	THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR AND HAVE CONTROL OVER CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES FOR COORDINATING ALL PORTIONS OF THE WORK UNDER THE CONTRACT.
5	THE CONTRACTOR SHALL BE RESPONSIBLE FOR INITIATING, MAINTAINING AND SUPERVISING ALL SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE PERFORMANCE OF THE CONTRACT.
6	THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND WORK IN PLACE, LAYOUT ALL NEW WALLS AND PARTITIONS, VERIFY DIMENSIONS, LOCATE EXISTING UTILITIES AND MECHANICAL SYSTEMS, AND NOTIFY THE ARCHITECT OF ANY DISCREPANCIES PRIOR TO BEGINNING CONSTRUCTION.
7	THE CONTRACTOR SHALL INCLUDE ALL ITEMS, MATERIAL, LABOR, AND SERVICES NECESSARY FOR THE PROPER EXECUTION AND COMPLETION OF THE INTENDED WORK.
8	CONTRACTOR TO WALK SPACE TO DETERMINE SCOPE OF WORK PRIOR TO SUBMITTING BID.
9	CONTRACTOR TO PROVIDE BLOCKING/METAL STRAPPING FOR ATTACHMENT OF ALL SHELVING, CASEWORK, RAILINGS, RESTROOM PARTITIONS/ACCESSORIES, PHONE BOARDS, ETC. SEE DETAILS/INTERIOR ELEVATIONS FOR LOCATIONS.
10	ALL DIMENSIONS ARE TO FACE OF FINISH MATERIAL UNLESS OTHERWISE NOTED.
11	DO NOT SCALE THE DRAWINGS. FOLLOW THE WRITTEN DIMENSIONS AND INSTRUCTIONS. DIMENSIONS NOTED "AS REQUIRED", "VERIFY IN FIELD", OR "MATCH EXISTING" ARE TO BE VERIFIED BY THE CONTRACTOR.
12	"ALIGN" MEANS TO ALIGN FINISH MATERIALS OF ELEMENTS INDICATED.
13	MASONRY UNIT SIZE AND DIMENSION ARE "NOMINAL", UNLESS NOTED OTHERWISE.
14	FLOOR ELEVATIONS INDICATED ARE TO TOP OF CONCRETE, UNLESS NOTED OTHERWISE.
15	ALL PARTITIONS TO BE TYPE XX, U.N.O. SEE SHEET A0-04 FOR PARTITION TYPE DETAILS.
16	REFER TO TYPICAL TOILET ELEVATION LEGEND ON SHEET A0-20 FOR DIMENSIONS AND HEIGHT LOCATIONS.
17	REFER TO TYPICAL ELECTRICAL DEVICE LOCATIONS DETAIL ON A0-20 PROJECT INFORMATION FOR DIMENSION AND HEIGHT LOCATIONS.
18	REFER TO ADA LEGEND ON A0-20 PROJECT INFORMATION FOR ADA CLEARANCES. COMPLY WITH DIMENSIONS SHOWN AT ALL DOORS. CONTACT ARCHITECT AS NECESSARY FOR ANY DISCREPANCY OR CLARIFICATION.
19	SEE SHEET A0-01 PROJECT INFORMATION FOR SYMBOLS LEGEND AND ADDITIONAL INFORMATION.
20	FLOOR PENETRATIONS AND WALL PENETRATIONS SHALL BE U.L. TESTED AND APPROVED FIRESTOP SYSTEMS AT ALL NEW AND EXISTING RATED FLOOR AND RATED WALL PENETRATIONS, INCLUDING THOSE REVEALED DURING DEMOLITION. PAINT ALL EXPOSED FIRESTOPS.
21	NOT ALL TENANT/VENDOR SUPPLIED EQUIPMENT IS SHOWN ON THESE DRAWINGS. CONTRACTOR SHALL VERIFY TENANT SUPPLIED EQUIPMENT AND VENDOR SUPPLIED EQUIPMENT REQUIREMENTS INCLUDING POWER, DATA, CHASEWAYS, ETC. AND COORDINATE WITH TENANT.
22	ALL MECHANICAL, ELECTRICAL, AND PLUMBING DESIGN SHALL COMPLY WITH ALL CURRENT APPLICABLE CODE REQUIREMENTS.
23	ELECTRICAL CONTRACTOR TO CONFIRM SCOPE WITH LANDLORD & TENANT DURING INITIAL WALK THROUGH. ANYTHING NOT TO BE USED BY LANDLORD OR TENANT SHOULD BE DISMANTLED AND REMOVED.
24	ALL DUCTWORK & MECHANICAL EQUIPMENT SHALL BE CONCEALED UNLESS NOTED OTHERWISE.



23,865.18 SQFT

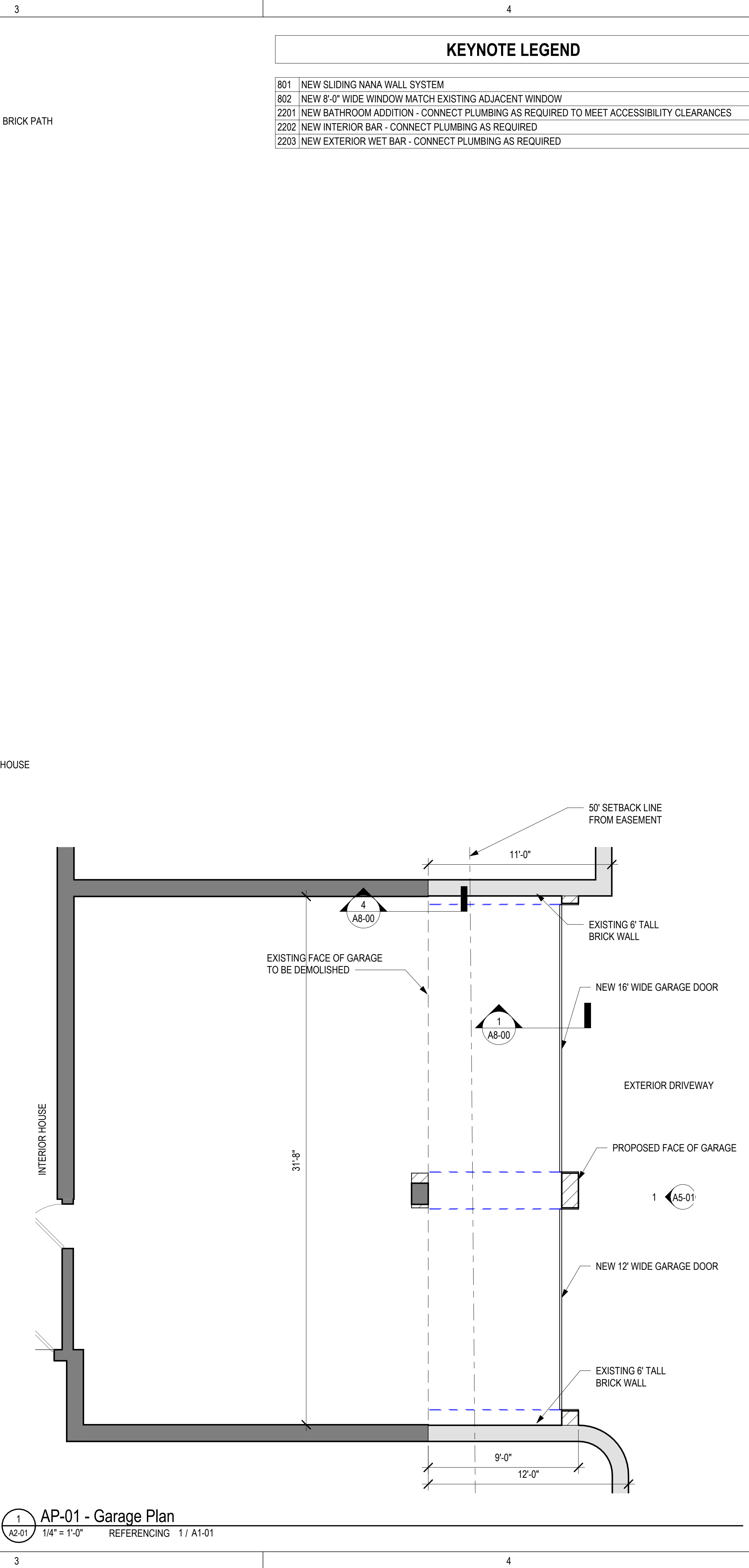
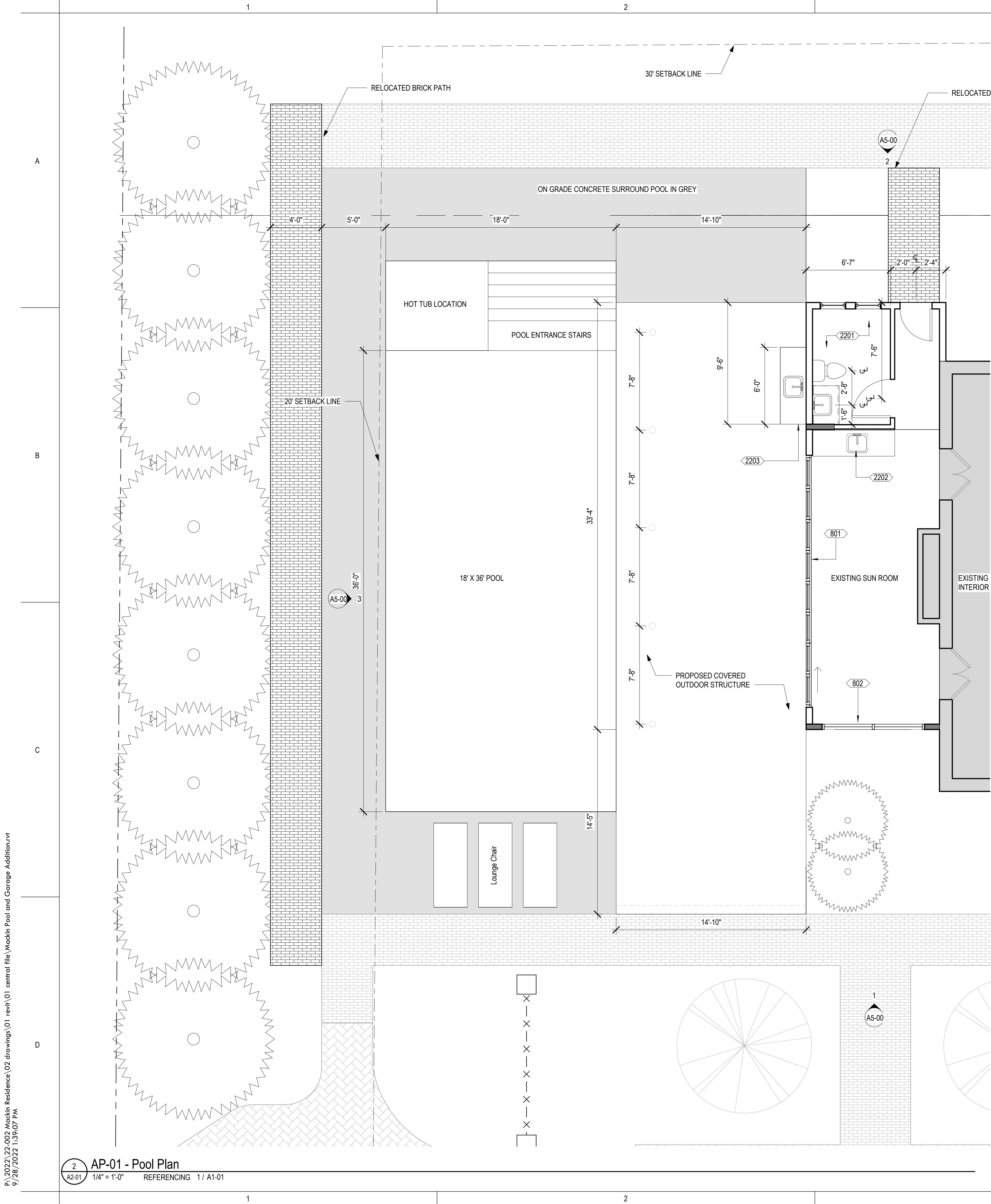


22,001.02 SQFT

2 EXISTING GREEN SPACE  
A1-01 1" = 40'-0" REFERENCING /

PROJECT STATUS  
ISSUE DATE: ISSUE DATE  
PROJECT NO: 22-002





KEYNOTE LEGEND	
801	NEW SLIDING NANA WALL SYSTEM
802	NEW 8'-0" WIDE WINDOW MATCH EXISTING ADJACENT WINDOW
2201	NEW BATHROOM ADDITION - CONNECT PLUMBING AS REQUIRED TO MEET ACCESSIBILITY CLEARANCES
2202	NEW INTERIOR BAR - CONNECT PLUMBING AS REQUIRED
2203	NEW EXTERIOR WET BAR - CONNECT PLUMBING AS REQUIRED

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POOL & GARAGE

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REVISION SCHEDULE		
NO.	DATE	REVISIONS

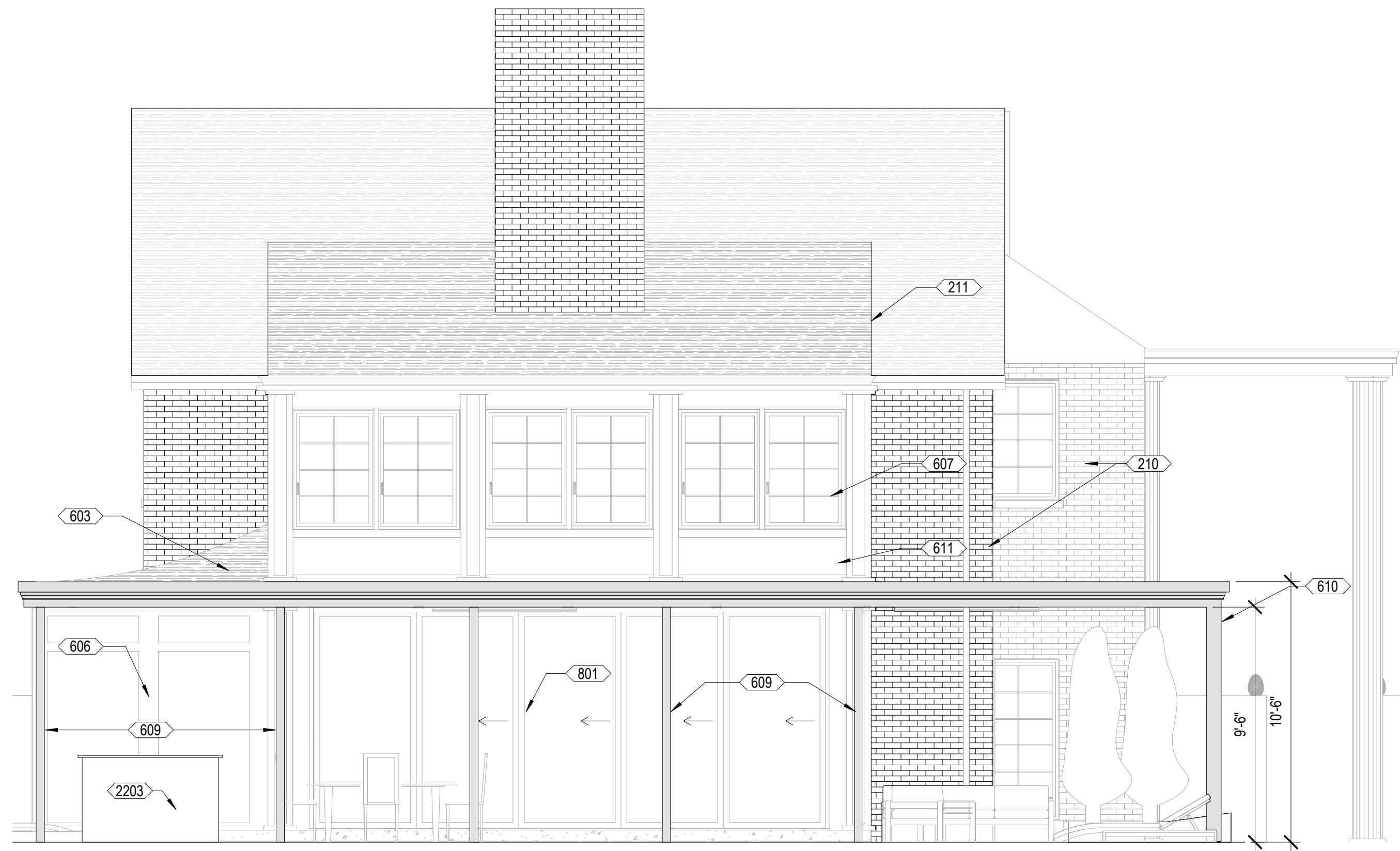
SHEET NO:  
**A2-01**  
S.O.W. FLOOR PLAN

PROJECT STATUS  
ISSUE DATE: ISSUE DATE  
PROJECT NO: 22-002

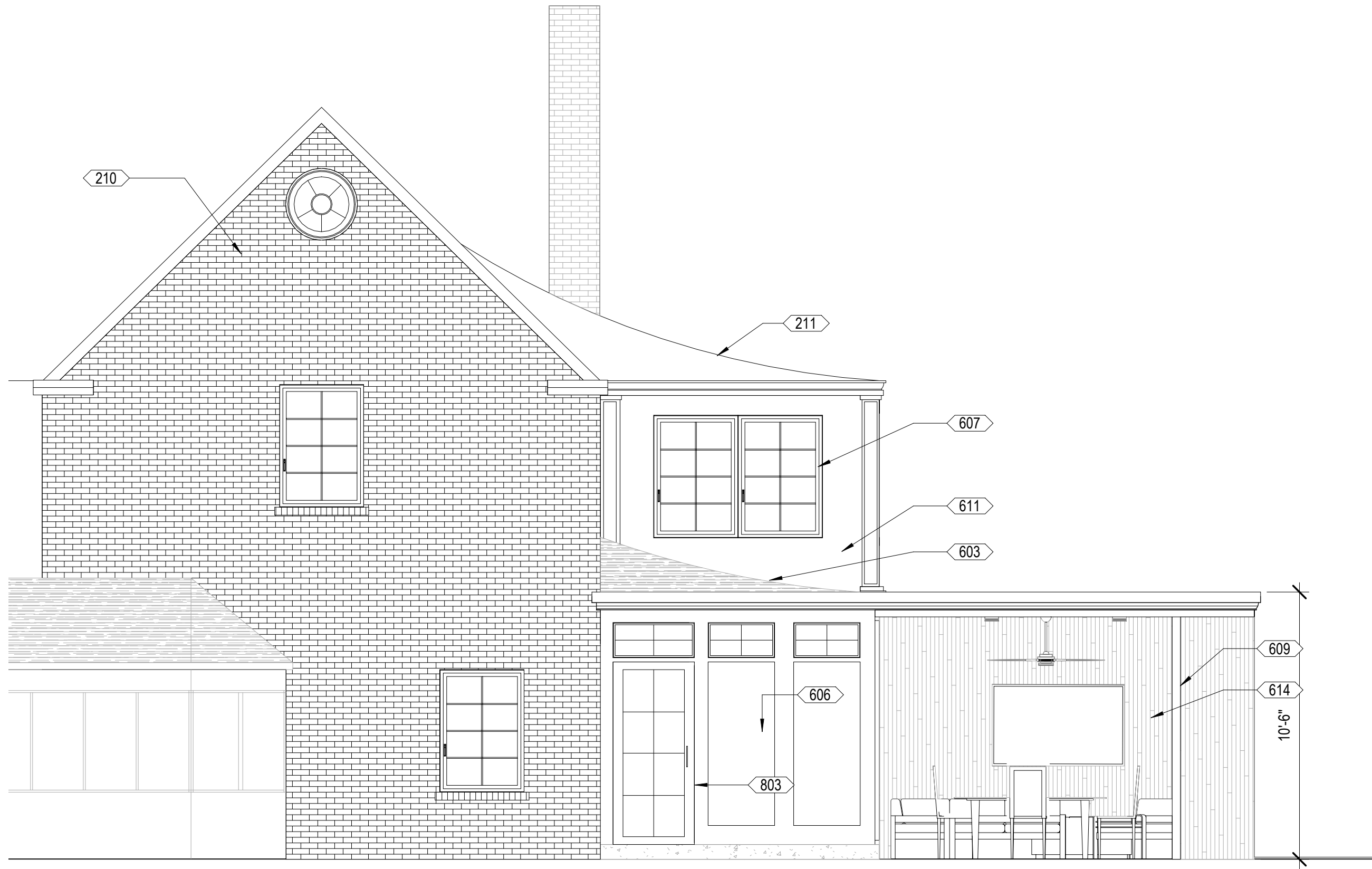


KEYNOTE LEGEND	
210	EXISTING TWO STORY BRICK HOUSE TO REMAIN
211	EXISTING ROOF TO REMAIN
213	REMOVE FLOORING, ADHESIVE, AND BASE
603	CLASS A SHINGLE ROOF TO MATCH EXISTING.
606	NEW ENCLOSED BATHROOM ADDITION.
607	NEW WINDOWS TO MATCH EXISTING HOUSE.
609	NEW 5" STEEL COLUMNS FOR PROPOSED OUTDOOR STRUCTURE.
610	NEW COVERED OUTDOOR STRUCTURE. SHOWN IN GREY FOR CLARITY. TO BE WHITE EXTERIOR CLADDING
611	RECLAD EXTERIOR SIDING
612	NEW WINDOW TO MATCH ADJACENT WINDOW
613	NEW PLANTED TREES
614	NEW WOOD FINISH ON INTERIOR SIDE OF COVERED STRUCTURE. SEE SHEET A5-04 FOR REFERENCE.
801	NEW SLIDING NANA WALL SYSTEM
803	NEW SINGLE DOOR
2203	NEW EXTERIOR WET BAR - CONNECT PLUMBING AS REQUIRED

1 POOL HOUSE ELEVATION - SOUTH  
A5-00 1/4" = 1'-0" REFERENCING 2 / A2-01



3 POOL HOUSE ELEVATION - WEST  
A5-00 1/4" = 1'-0" REFERENCING 2 / A2-01



2 POOL HOUSE ELEVATION - NORTH  
A5-00 1/4" = 1'-0" REFERENCING 2 / A2-01

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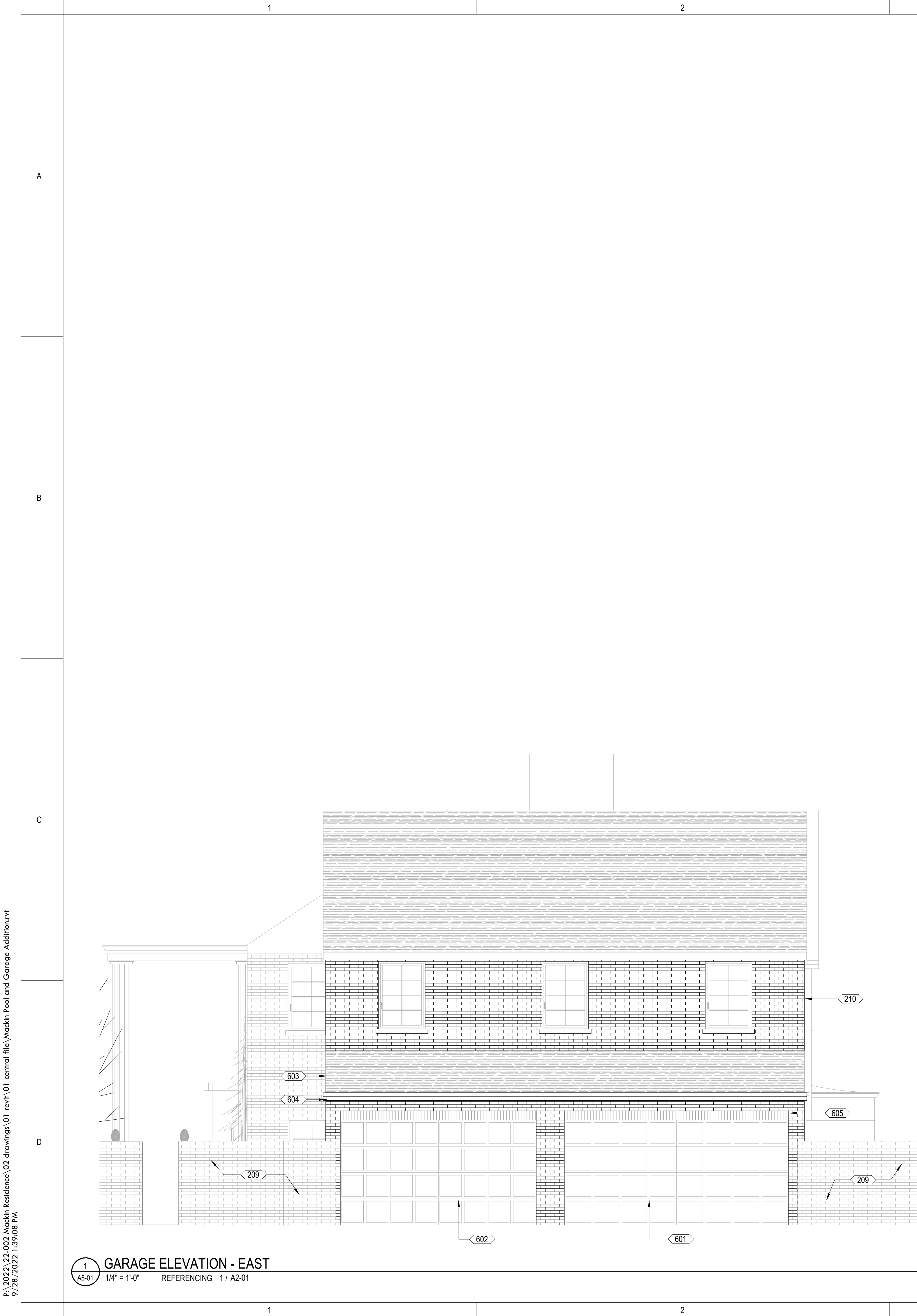
PROJECT STATUS: ISSUE DATE  
**MACKIN RESIDENCE**  
**POOL & GARAGE**  
9633 LADUE ROAD ST. LOUIS, MO 63124

REVISION SCHEDULE		
NO.	DATE	REVISIONS

SHEET NO:  
**A5-00**  
EXTERIOR ELEVATIONS  
/ BLD'G SECTIONS

PROJECT STATUS  
ISSUE DATE: ISSUE DATE  
PROJECT NO: 22-002





KEYNOTE LEGEND	
209	EXISTING BRICK WALL TO REMAIN AND CARRY STRUCTURAL LOAD OF NEW GARAGE
210	EXISTING TWO STORY BRICK HOUSE TO REMAIN
601	NEW ROLL UP GARAGE 8'-0\"/>
602	NEW ROLL UP GARAGE 8'-0\"/>
603	CLASS A SHINGLE ROOF TO MATCH EXISTING.
604	COPPER GUTTERS TO MATCH EXISTING.
605	NEW SOLDIER BRICK HEADER TO MATCH EXISTING HOUSE STYLE.



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**MACKIN RESIDENCE**

**POOL & GARAGE**

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REVISION SCHEDULE		
NO.	DATE	REVISIONS

SHEET NO:

**A5-01**

**GARAGE EXTERIOR  
ELEVATIONS**

PROJECT STATUS  
ISSUE DATE: ISSUE DATE  
PROJECT NO: 22-002



KEYNOTE LEGEND

A



B

EXISTING CONDITIONS FOR  
NEW POOL



STREET VIEW FROM LADUE RD.



NEIGHBOR TO THE NORTH

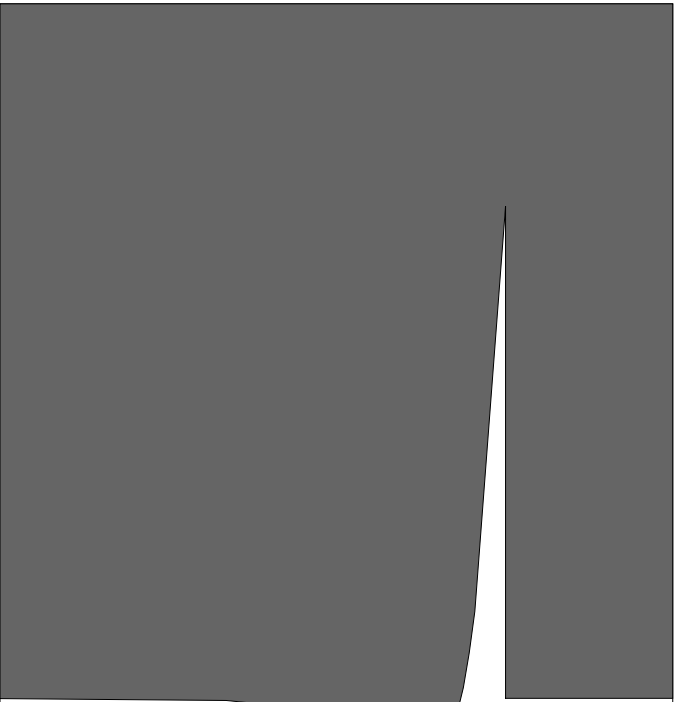
C



EXISTING GARAGE PHOTOS



D



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**POOL & GARAGE**  
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REVISION SCHEDULE

NO.	DATE	REVISIONS

SHEET NO:  
**A5-02**  
EXISTING CONDITION

PROJECT STATUS  
ISSUE DATE: ISSUE DATE  
PROJECT NO: 22-002



1

2

3

4

KEYNOTE LEGEND



A

B

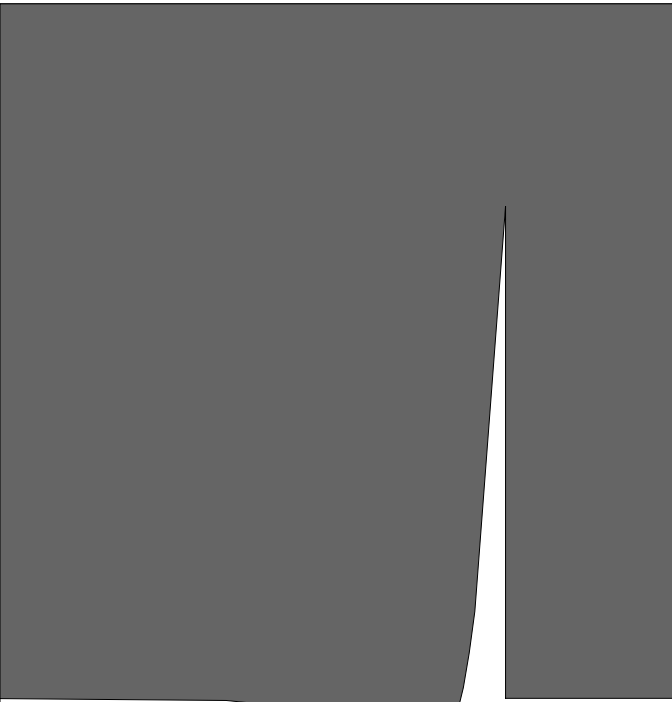
C

D

PROPOSED EXPANSION OF GARAGE



P:\2022\22-002 Mackin Residence\02 drawings\01 rev\01 central file\Mackin Pool and Garage Addition.rvt  
9/28/2022 1:39:11 PM



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REVISION SCHEDULE		
NO.	DATE	REVISIONS

SHEET NO:  
**A5-03**  
PROPOSED RENDERS  
GARAGE  
PROJECT STATUS  
ISSUE DATE: ISSUE DATE  
PROJECT NO: 22-002



KEYNOTE LEGEND



PROPOSED NEW POOL AND  
OUTDOOR STRUCTURE VIEW  
FROM INTERIOR



SOUTH WEST VIEW



PROPOSED NEW POOL AND OUTDOOR STRUCTURE



SOUTH EAST VIEW

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REVISION SCHEDULE		
NO.	DATE	REVISIONS

SHEET NO:

A5-04

PROPOSED RENDERS

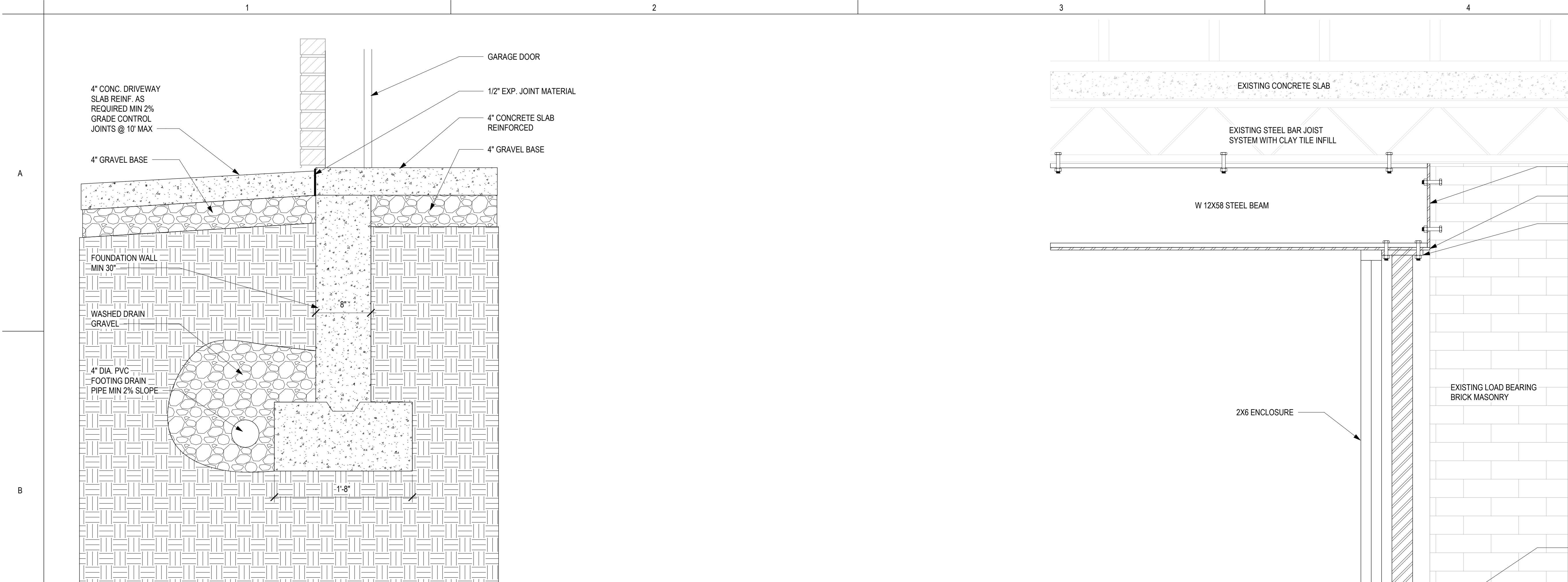
POOL ADDITION

PROJECT STATUS

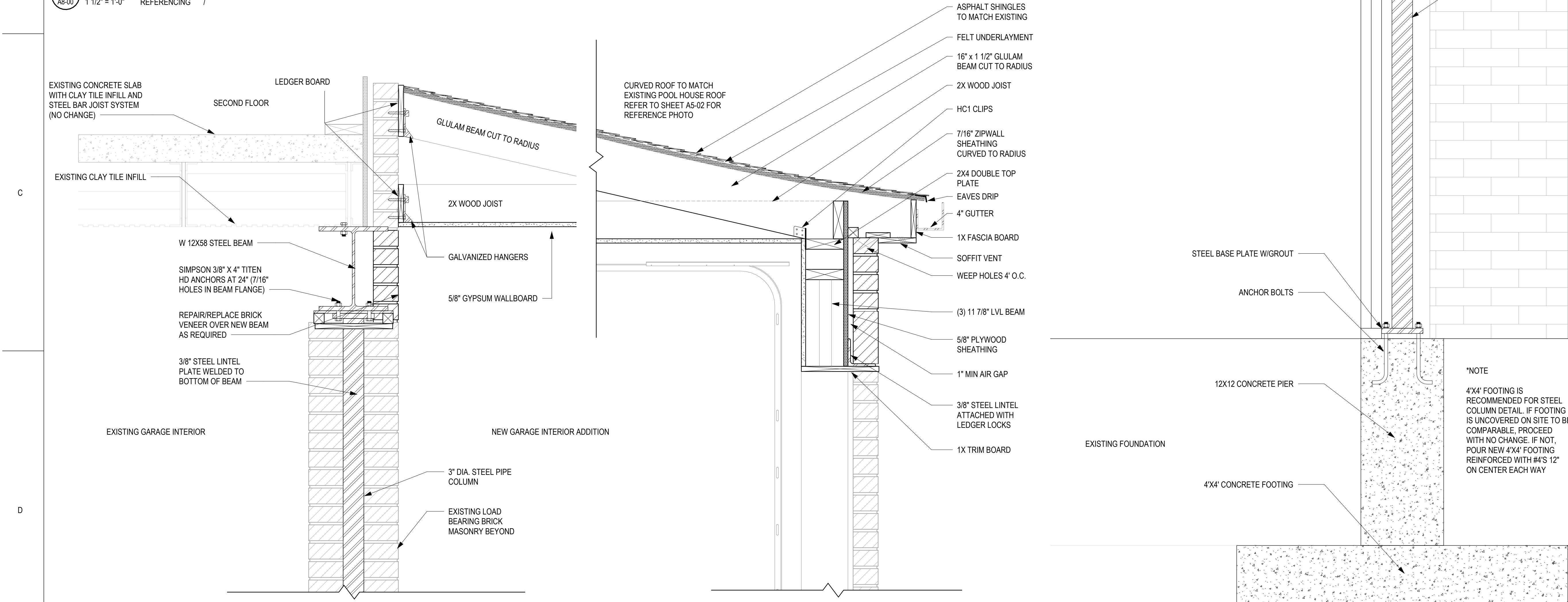
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PROJECT NO: 22-002



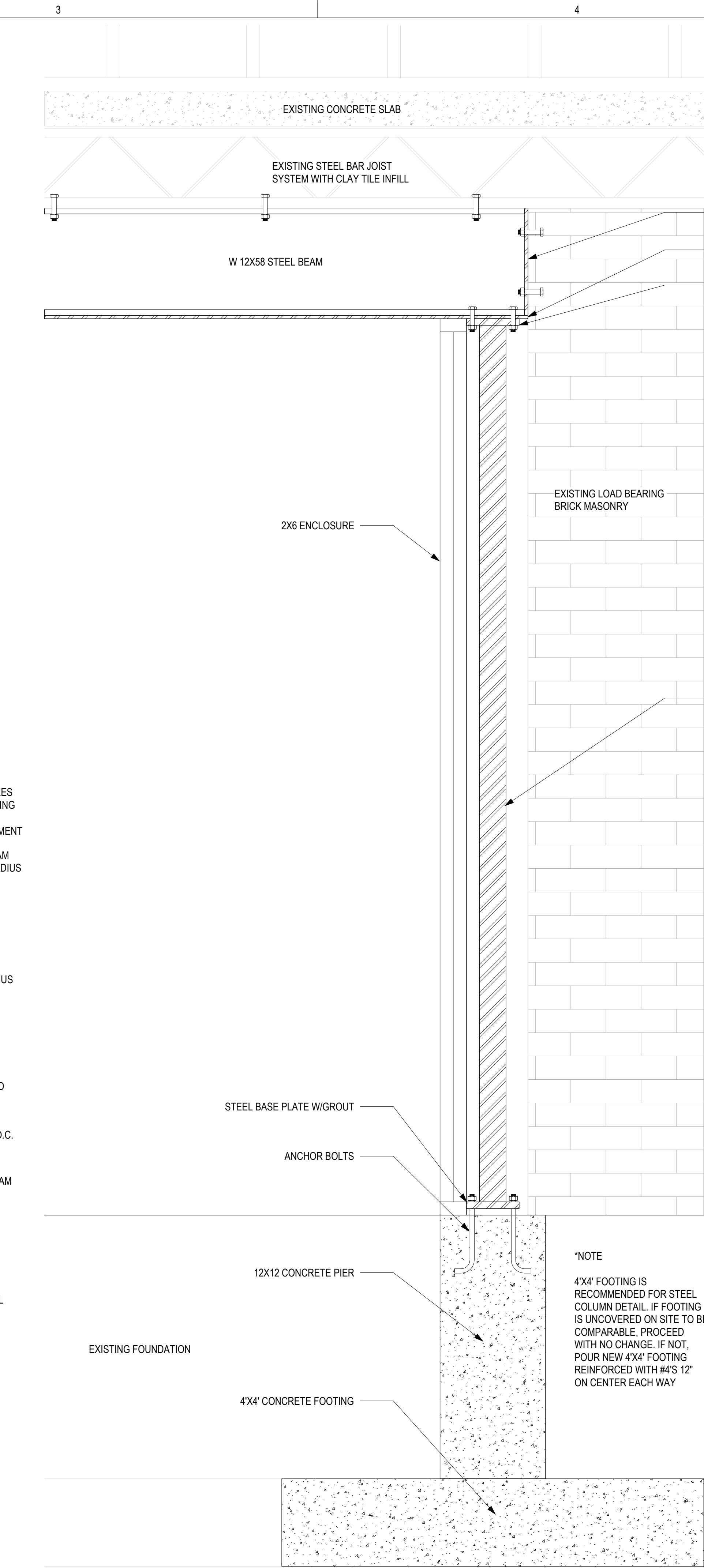


2 GARAGE FOUNDATION  
1 1/2" = 1'-0" REFERENCING /

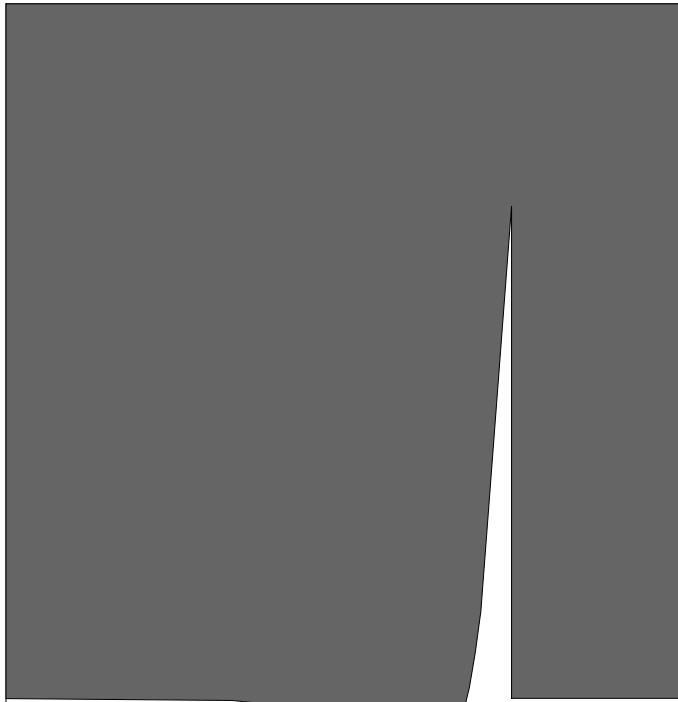


4 EXISTING GARAGE FACADE NEW BEAM DETAIL  
1 1/2" = 1'-0" REFERENCING 1 / A2-01

1 NEW GARAGE DOOR SECTION  
1 1/2" = 1'-0" REFERENCING 1 / A2-01



3 EXISTING GARAGE FACADE STEEL COLUMN DETAIL  
1 1/2" = 1'-0" REFERENCING /



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REVISION SCHEDULE		
NO.	DATE	REVISIONS

SHEET NO:  
**A8-00**  
GARAGE DETAILS

PROJECT STATUS  
ISSUE DATE: ISSUE DATE  
PROJECT NO: 22-002